

DESIGN GUIDELINES FOR NATURE POINTE COMMUNITY

ARTICLE I OBJECTIVES

The following guidelines (“**Design Guidelines**”) are established to create a community with high aesthetic goals of blending homes and related improvements with the natural beauty of the existing land at Nature Pointe Community (“**Nature Pointe**”). The Design Guidelines must be adhered to in order to be in compliance with the Declaration.

A Lot Usage Sheet (“**LUS**”) has been created by the Developer locating your specific Building Envelope, any single-story home restrictions, trail locations, and many details regarding the development of your Lot. Building Envelopes are specifically located to offer the best views while insuring a significant distance from adjoining homes and preservation of the natural environment.

In most cases, the Design Guidelines apply not only to the main house, but also to the garages, outbuildings, walls and any structure on your Lot. The Architectural Control Committee (“**ACC**”) must approve all improvements in writing.

The Owner is ultimately responsible for compliance with the Declaration and Design Guidelines. The Owner shall be responsible for his/her contractor, sub-contractors and all employees thereof.

We appreciate your cooperation in creating a better Community by following the Subdivision Rules. Please consult with the ACC to obtain any amendments to the Design Guidelines.

ARTICLE 2 ARCHITECTURAL DESIGN

2.1 Building Placement and Pre-Plan Submittal Meeting. A Building Envelope for each Lot is shown on the LUS, a copy of which is available from the Association. A Pre-Plan Submittal Meeting is required on the Lot with the Designer and the Owner. The builder may choose to attend as well, along with the ACC. The purpose of this meeting is described under Article 4, Review Procedures. The ACC shall have no liability to approve final plans based upon the Pre-Plan Submittal Meeting’s approval.

2.2 Lot Line Setbacks. Buildings, walls, fences and most, if not all, improvements must be located within the Building Envelope. Private driveway gates must be set back a minimum of 60' from the front Lot line.

2.3 Waiver of Claims. By the acquisition of title to any Lot in Nature Pointe, and in consideration thereof, each Owner thereby agrees not to file suit or pursue any claim against the ACC, the Board, the Declarant and any member of any of the foregoing, to recover damages or obtain any other relief in connection with any of the foregoing events.

2.4 Variances. When natural or artificial occurring circumstances or the necessities of reasonable use and enjoyment of a Lot within Nature Pointe require, the Owner of said Lot may apply to

the ACC for variance approval. The ACC, upon showing of good cause and necessity therefor without significant possibility of a detriment to others and by the affirmative vote of a majority of its members, may allow reasonable variances with respect to any provision of the Declaration and the Designed Guidelines on such terms and conditions as the ACC shall specify in writing. Granting of a variance by the ACC in any specific case shall not commit the ACC or affect its decision in any other application for approval of a variance.

2.5 Use of Design Professionals Use of a design professional is required for the preparation of design and construction drawings. The Owner shall indicate to the ACC that the building placement and design have been carefully integrated with the natural features of the Lot. The ACC reserves the right to reject plans which are inconsistent with the design objectives, philosophy and standards set forth in the Declaration and the Design Guidelines.

2.6 Preliminary Plan. After the Pre-Plan Submittal Meeting, during which documentation showing the location of any building on any Lot has been delivered, the Owner shall provide a Preliminary Plan indicating the general floor plan, the preliminary elevations, and the site plan. The ACC must approve the Preliminary Plan prior to commencing with construction drawings. The Preliminary Plan submittal process is intended to assist the Owner in complying with the Declaration and the Design Guidelines prior to incurring costs for preparation of construction drawings. Approval by the ACC of the Preliminary Plan does not obligate or impart any liability of the ACC to approve final construction drawings. The typical ACC expected review period for preliminary or final construction drawings is ten (10) business days.

2.7 Authority to Disapprove Plans. The ACC shall have the authority to disapprove any construction, structure or plans, in its discretion, that are not consistent with the concept of a first class development.

2.8 Height Restrictions.

a. **Buildings**. Nature Pointe has a varied and unique terrain with valleys, hilltops and other variations in elevation, making absolute height restrictions impractical. Building height restrictions are intended to prevent any residence or other structure which would appear excessive in height when viewed from a street or another Lot, from impairing the privacy of an adjoining Lot and/or which would appear out of character with other residences because of its height. Consequently, despite the maximum heights permitted as specified in this section and as described in the following paragraphs and Figures, the ACC may disapprove a proposed residence or other structure or portions thereof if it determines that it is excessive in height, even though the proposed residence or other structure may otherwise comply with the maximum height restrictions. The maximum height exceptions will vary depending on terrain type and whether the residence has a flat or pitched roof and may be determined at the discretion of the ACC. All height measurements are taken at the original natural grade adjacent to each portion of the residence prior to construction.

b. **Walls**. Retaining walls and other walls not directly supporting a building structure shall not exceed 5' in exposed height measured from the lowest natural grade adjacent to the wall. If a "coyote fence" (peeled or unpeeled latillas) is proposed to screen an object as required in the Declaration, the ACC shall have the right to approve or disapprove such fence in its sole discretion. Coyote fences must have stucco/rock pilasters with a maximum 18' spacing and must have an adequate horizontal structure to support latillas under normal projected wind loads. All walls or fences should be softened by landscaping with trees or large shrubs where practical. Walls shall be surfaced with stucco or

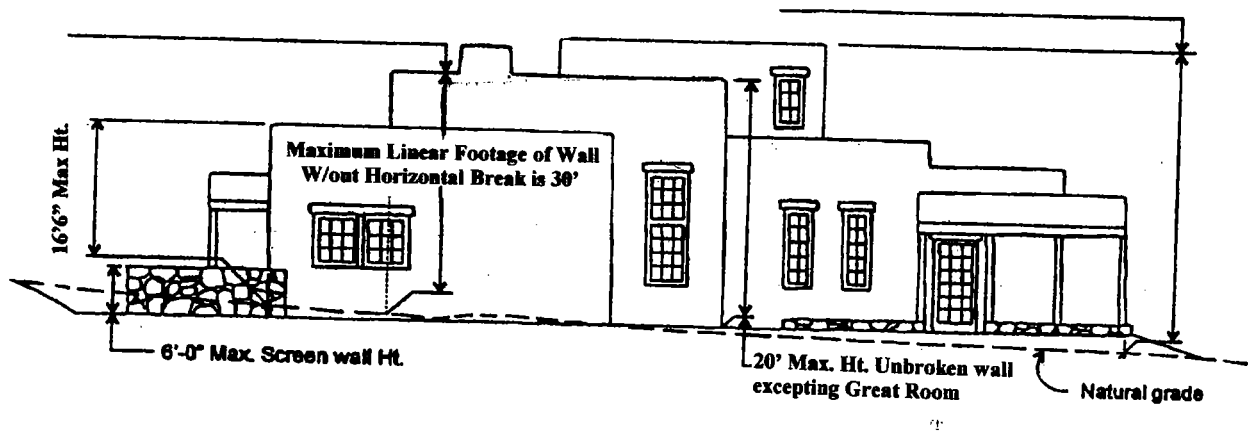
stone and must vary in offset or incorporate pilasters in order to break up a linear plane. Walls greater than 5' in height may be considered by the ACC if necessary to block an obtrusive view and the ACC believes the improvement will not adversely affect other Lots. Walls and all exterior improvements to the Lot must be submitted with the landscape plan.

c. Flat-Roof Residences. Single-story homes have a maximum allowable height of 16' 6" excepting that up to 1/3 of the heated living area may have a maximum height of 20'. Two-story homes shall have a maximum height of 16' 6" excepting that up to 1/3 of heated living area may have a maximum height of 26'. No wall shall have an unbroken height of more than 20'. Roofing parapets shall be designed to enhance vertical wall changes to create a more pleasing outcome. The height restrictions are graphically shown in **FIGURE 1**. Lots 10, 11, 21, 22, 23, 45 and 47, if in meadow, 48 - 57, 61 and 62 are restricted to single story homes, with a maximum height of 20'.

FIGURE 1
Flat-Roof House or Guest House

Single-Story Home: Limited to 20' interior mass height up to 1/3 of living area, interior massed living areas

Two-Story Home: Limited to 26' interior mass height up to 1/3 of the living area, with at least 6' setback from 3 of 4 walls

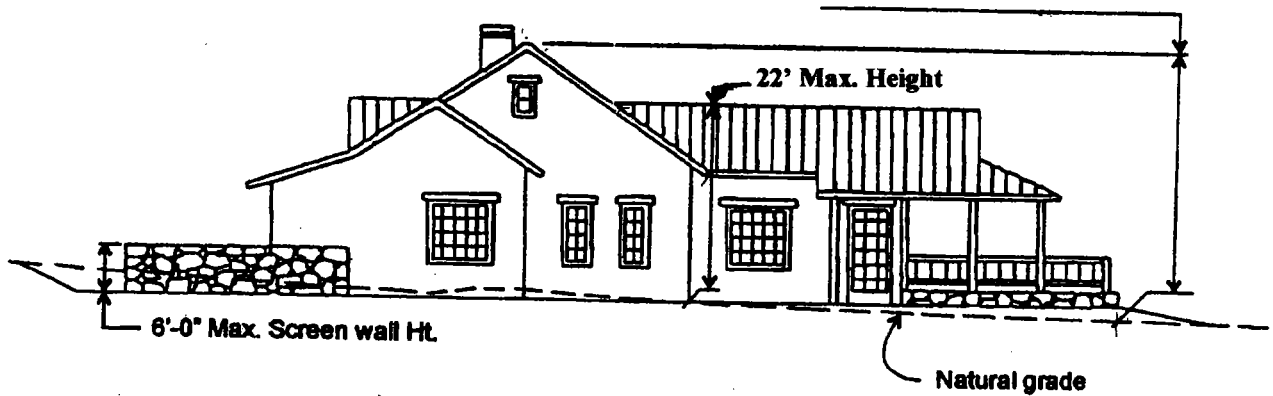


- All height measurements are to be measured from original undisturbed natural grade.
- The height exception applies to a maximum of 1/3 of the living area. The two dimension notes above showing 1/3 of the living area are not cumulative.
- A minimum of 3 of 4 exterior walls shall have massings that break up the linear plane.

d. Pitched-Roof Residences. A maximum height of 22' is permitted at the highest point of the building mass, excepting up to 1/3 of heated living area may have a maximum height of 30' and must also be less than 26' maximum height measured at mid-span. Mid-span measurement is halfway down the highest roof line. No wall shall have an unbroken height of more than 20'. The height restrictions are graphically shown in **FIGURE 2** below. Lots 10, 11, 21, 23, 45 and 47, if in meadow, 48 - 57, 61 and 62 are restricted to single-story residences with a maximum height of 26'.

FIGURE 2
Pitched-Roof House of Guest House
Single-Story or Two-Story Home

30' maximum height, and also less than 26' maximum height measured at midspan, limited to 1/3 of living area.



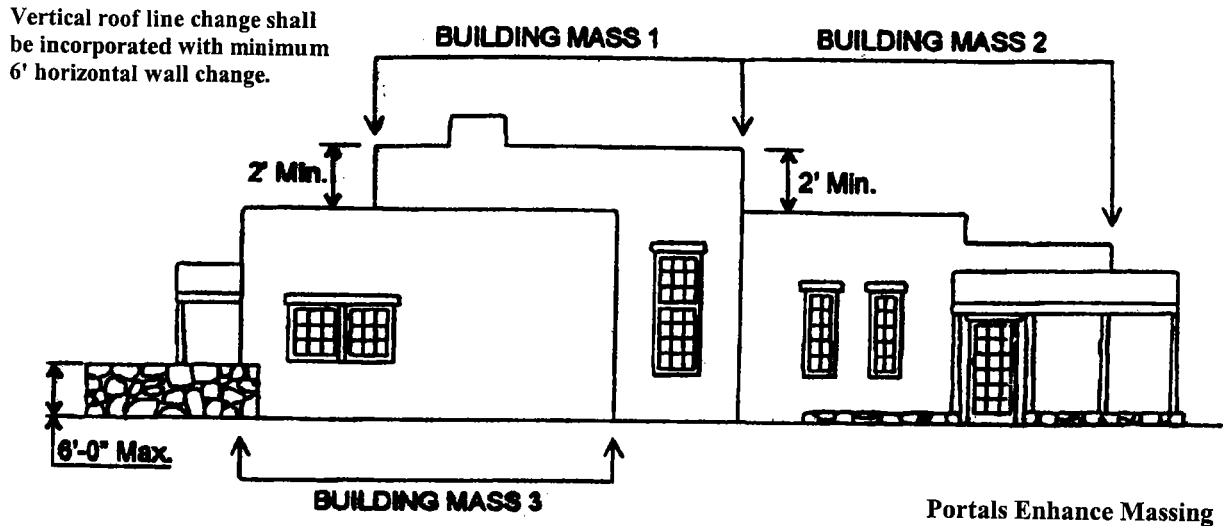
- All height measurements are to be measured from original undisturbed natural grade.
- A minimum of 3 of 4 exterior walls shall have massings that break up the linear plane.
- Lots designated as single-story only have maximum height of 26'.

2.9 Building Massing. A long linear façade without horizontal or vertical breaks is not permitted. Unless otherwise permitted by the ACC, the building façade shall have a minimum of three (3) visually distinct building masses. The minimum vertical offset between the building masses shall be not less than 2 feet. The minimum horizontal offset shall be 6'. The maximum linear footage of wall, except garage walls, without a horizontal break is 30'. 3 of 4 main wall sections shall have massings that breakup the linear plane. A graphic description of building massing is shown in **FIGURE 3** below. While it is anticipated that building massing will follow natural site contours, nothing in the Design Guidelines shall prohibit residences with a single floor level, providing the building height, massing and grading guidelines are met. Portals, verandas or balconies may be required by the ACC to break up the massing of a dominant elevation. Several carefully chosen stucco colors help create a more pleasing design.

Three-car and larger garages must incorporate vertical and horizontal wall offsets to create more pleasing elevations. Garage walls may not be longer than 34' without a horizontal break. Garage doors shall be located to minimize dominance of the garage structure as viewed from the street and must be recessed a minimum of 18" from the face of the garage walls. RV garages must be integrated and attached to the main structure of the house. The maximum width of an RV garage door is 12' and the maximum height is 14'. Generally, the maximum RV garage ceiling allowed is at 16'. RV and other garages may be required by the ACC to have windows or glass blocks of adequate sizing to help break up

the visual plane. The minimum casita considered is 400 square feet and must be connected by a breezeway. Casitas must incorporate a design similar to that of the main house.

FIGURE 3
Building Massing



Minimum of 3 Distinct Masses

Several Stucco Colors Enhance Massing

2.10 Roofs. The types of roofs permitted within Nature Pointe will have a significant impact on the visual environment. The color, pitch, reflectivity and relationship of the peak of the roof to the skyline are important considerations in the selection of a roof design. The ACC, in its discretion, may approve or disapprove domed skylights in the roof structure depending on their visibility. Flat roofs and pitched roofs are permitted. Pitched roofs must comply with the following:

- a. A maximum slope of 8 vertical to 12 horizontal.
- b. Metal roofs shall have a low "light reflectivity value." Colors that are permitted by the ACC are set forth in paragraph **2.14 Roof Colors-Metal** hereof.
- c. Pitched roofs visible from streets shall not have a large unbroken roof plane.
- d. Asphalt shingles and wood shingles are not permitted.
- e. Mechanical equipment on pitched roofs will require screening in an aesthetically pleasing manner. Visible vents and other incidental roof protrusions are required to be painted in a color approved by the ACC.
- f. Metal roofs manufactured to simulate a tile roof will be considered for approval by the ACC.
- g. Tile roofs (both barrel and flat) are allowed on Tuscan or other approved building styles providing the following conditions are met and approved by the ACC:

- i. the color of tile must be natural earth-tone colors blending with the environment (pre-approved colors are set forth in paragraph **2.15 Roof Colors; Tile; Concrete** hereof);
- ii. the degree of reflectivity must be acceptable;
- iii. the style and method of joining tile;
- iv. must incorporate features to minimize massing of a tiled roof structure;

and

- v. the slope is preferred at 4 vertical to 12 horizontal and may not exceed 5 vertical to 12 horizontal.

2.11 Driveways. All driveways shall be graded and sloped for proper drainage. Permanent driveways shall be surfaced with a compacted base course at least 6" thick. If a driveway is paved, a minimum of 2" paving surface on top of the base course is required. A minimum of 3" driveway base course of 50 linear feet from the street connection must be installed **prior** to the start of earthwork on any site improvement. Driveway apron areas at garages must allow a suitable vehicle turnaround area. Curved driveways are encouraged so as to create a more private home site. Driveways may not be located nearer than 10' from any side Lot line. Only one driveway access is allowed per Lot and generally must be located at a cul-de-sac street connection.

2.12 Driveway Security Gates. The ACC, on a case-by-case basis, will consider private driveway security gates. Generally, the gates shall be located within the Building Envelope and shall be anchored to a stucco pilaster. The ACC may approve a driveway gate outside the Building Envelope not closer than 60' to the street right-of-way on a site-by-site basis. Shielding by terrain and vegetation shall be a consideration of approval.

2.13 Building Surface/Colors. The exterior wall of each residence, wall, and all freestanding walls and fences shall be plastered except as otherwise allowed by the ACC. Such plaster may be stucco or a natural mud plaster. The use of colors, other than those listed below as pre-approved colors, are subject to the prior approval of the ACC.

a. *El Rey Stucco Company.* Hacienda (127), Fawn (117), Palomino (119), Sandalwood (121), Straw (122), Buckskin (106), Sand (103), Sahara (135), Adobe (116), Suede (118), Cottonwood (115), Pueblo (130), La Luz (125), Coral (124), Sage (803), River Rock (1565), Vega (1570), Dry River (817), Rio Bravo (825), Pottery (1566), Casa (827), Clay (1571), Cactus Flower (814), Buffalo (806), Stone Bluff (351), Tierra (272), Husk (1567), Taos (1569), Deerskin (1568), Hogan (1572), Skiff (1644).

b. *Sto Stucco Company.* Sedona (01013), Duranes (04527), Acoma (3030), Alamo (2501), Sandia (1616), San Antonio (1465), Desert Lace (01009), Paloma (01014), Torreon (1501), Tumbleweed (01011), Mesilla (2207), Mesa Del Sol (01016), Pueblo (01005), Adobe Brown (01004), Cimmaron (4180), Pecos (01001), Amarillo (3003), Suede (01006), Abiquiu (01002).

c. Colors from other stucco companies are subject to ACC approval of similar color pallet.

Trim, window and other colors of improvements must be indicated on construction drawings. The ACC must approve all exterior colors. Columns must generally be earth-tone in color.

2.14 Roof Colors-Metal. *Mueller, Inc.* roof colors pre-approved for metal roofs are Tan, Light Stone, Light Gray, Colony Green, Rustic Red, Charcoal Gray, Coco Brown and Galvalum. Standard corrugated roofing is not allowed. Concealed fastener roof systems are required.

2.15 Roof Colors; Tile; Concrete. All colors of tile or concrete shingles are subject to ACC approval. The intent of the Design Guidelines is to approve earth-tone colors only. Bold, non-earth-tone colors will not be approved. A pre-approved listing of *MCA* clay tile colors are: RB46, F46, 2F46, CF51, CF50, CC133L, CC133M, CC133D, CC138L, CC138M, CC60, 2F71, RB45, 2F99, 2F34, CC135L, CC135M, CC135D, F45, 2F45, CC139, CC136M, CC116L, CC134L. The ACC may approve other colors or manufacturers in its sole discretion. The square footage of a tile roof and visibility from the street and adjoining houses will be considered in the ACC's approval of a roof and its integration with the surroundings.

2.16 Roof Massing. A designer shall employ methods to limit massing of roof planes and the variation of roof/parapet heights delineating different rooms within the home. Adjusting roof heights to complement natural grade changes may be required. The ACC shall have sole discretion on final roof designs and designer's ability to satisfy this paragraph. Antennas and satellite dishes shall be located in less conspicuous locations or must be properly screened. Ground mounted equipment is preferred.

2.17 Visibility of Fixtures and Miscellaneous Improvements. All improvements visible from the streets and trails, both outside and within the Building Envelope, shall require written approval from the ACC.

2.18 Approved Building Styles. Southwestern, including *Pueblo, Pueblo Revival, Northern New Mexico, Santa Fe, Southwestern Contemporary, Tuscan and Territorial* or variations thereof as may be approved by the ACC.

ARTICLE 3 **GRADING**

3.1 Designation of Grading Limits. The grading and drainage plan shall clearly describe the grading limits within the Lot. If the County has required any specific grading plan, all requirements thereof shall be complied with. Grading shall include the excavation of dirt for the construction of the house, outbuildings, fences, walls, patios, utilities, driveways, gates, parking areas and any structure permanently affixed to the ground. The grading limits shall take into account the location of construction trailers, construction equipment and vehicles. The ACC must approve grading plans prior to any surface disturbance which shall be submitted at the time of the Final Review. Designer must designate positive drainage away from building pool of both existing drainage and roof water drainage.

3.2 Grading Limits. The grading limits shall be carefully determined to limit the amount of surface disturbance on the Lot. The builder will be required to locate, by the use of temporary 3' tall orange nylon construction fencing, the limits of the Building Envelope grading as shown on the approved final grading plan. In addition, driveway grading cuts/fills and parking areas, as shown on the approved final grading plans, must be temporarily fenced to reduce damage to the Lot prior to construction. Temporary construction fencing shall be shown on the plans at the Final Review. The wastewater treatment system should be designed and located to minimize damage to the Lot.

ARTICLE 4
REVIEW PROCEDURES

4.1 Pre-Plan Submittal Meeting. A member of the ACC or its representative will meet with the designer and the Owner on the Owner's Lot to determine the approximate boundaries where on-site development will occur within the Building Envelope. The evaluation will include a consideration for siting of the waste water system. The Pre-Plan Submittal Meeting is required prior to commencement of design work on the residence and generally combined with the Preliminary Design Review. Alex Leonard or the ACC can be reached at (505) 450-2384.

4.2 Preliminary Design Review

a. A Preliminary Design Review is required by the ACC and is to take place early in the design process to indicate to the Owner the concerns the ACC may have, if any, with the design before the Owner proceeds with the expense of preparing construction drawings. After the Pre-Plan Submittal Meeting, including documentation showing the location of any building on any Lot, the Owner shall provide a Preliminary Plan indicating the general floor plan, existing grade elevations, exterior colors, roof design, roof heights, roof colors, preliminary elevations, and the site plan. The ACC must approve the Preliminary Plan prior to the Owner commencing with construction drawings. The Preliminary Plan submittal process is intended to assist the Owner in complying with the Declaration and Design Guidelines prior to incurring costs for preparation of final construction drawings. Approval by the ACC of the Preliminary Plan does not obligate or impart any liability of the ACC to approve final construction drawings. The typical ACC expected review period for preliminary or final construction drawings is ten (10) business days.

The Owner or the Owner's representative must send two (2) sets of Preliminary Plans to the ACC. The ACC shall have ten (10) business days to review the Preliminary Plans and make written comments directly on the same and/or by separate cover letter. The Owner or the Owner's representative may schedule a meeting with the ACC or its representative to discuss the ACC's comments.

b. The following items must be submitted to the ACC for the Preliminary Design Review:

i. The entire fee for the Preliminary Design Review and Final Review in the amount of \$300.00 payable to the Nature Pointe Homeowners Association. The fee shall be due upon submittal for a Preliminary Design Review. The amount of the fee may be adjusted from time-to-time to reflect the actual cost of the review process. The ACC shall determine the fee for additions or other submittals not reviewed at the time of the construction of the residence.

ii. The Building Envelope displayed with 2' contours in relation to the site areas to be disturbed. Owner may use data provided by Developer which was used for the subdivision platting. A more detailed survey made by a licensed surveyor at one foot intervals may be desirable. Developer assumes no liability for the accuracy of such topographic survey. Existing trees within the Building Envelope shall be shown on the contour plan. The floor plan of the building(s) and the proposed location of all improvements shall be superimposed on the contour plan. Two copies of the contour plan shall be provided to the ACC and approved prior to commencing with final construction drawings.

- iii. The site (plot) plan, to scale, showing the location of the residence and other improvements may be combined with the topographic survey.
- iv. The roof plan, elevations and floor plans to scale.
- v. The original ground (natural, undisturbed) contour elevations plotted to scale showing all elevations on all buildings, walls, and fences.
- vi. The driveway location.
- vii. The landscape plan sketch.
- viii. The wastewater system location and the design detailing any vegetation removal.

4.3 Final Review. Upon receipt of the ACC's comments on the Preliminary Design Review, the Owner or the Owner's representative shall submit:

- a. A deposit in the amount of \$3,000.00 ("**Compliance Deposit**") payable to *Nature Pointe Association Escrow Account*.
- b. Two full size (3/16" or 1/4" scale) sets of final plans and two sets of reduced 11" x 17" final plans which must include the following information:
 - i. the complete construction documents; and the
 - ii. time schedule for construction, utility hook-up and landscaping.
- c. A description of all exterior colors including trim and roof colors. (A color board with samples of materials may be required at the ACC's discretion.)
- d. Grading and drainage plan, including limits of grading clearly demarcated and the location of the 3' orange nylon temporary fencing.
- e. Final elevations with original undisturbed ground contours plotted on each elevation
- f. Final site plan to scale including all patios, portals, decks, retaining walls, privacy walls, gates, and improvements located inside/outside of the Building Envelope.
- g. Final roof plan to scale showing all skylights.
- h. Electrical plan describing the location and type of all exterior lighting fixtures, including wall-mounted fixtures. All exterior lights must be shielded to prevent the spread of light in an upward direction. Interior lights shall not be mounted within 12" of a skylight well and shall not be located inside the skylight well. Motion detectors and timers to turn off exterior lights not later than 10:00PM are required. The ACC, at its discretion, must approve all light-producing devices.

- i. Final landscape plan to scale (1" = 10' or larger). The landscape plan shall list all plant species, sidewalks, walls, terracing, roof water flows to landscaping, and all improvements.
- j. Any other plans, documents and material samples as the ACC may require.
- k. Utility locations (generally along the driveway; propane location (buried is preferred) and method of screening.
- l. Porta-potty and dumpster location.
- m. The method of concealing air conditioners (roof or ground mounted) and propane tanks.
- n. Topographical site plan showing the location of the residence, landscape walls, driveways, improvements, etc.
- o. Additional drawing(s) as may be requested by the ACC to better understand any particular project.
- p. Expected date of slab survey and its forwarding to ACC.
- q. Completed Design Approval Application. (Application form available from the ACC.)
- r. Any future improvements which may have an impact on the environment or are visible to any adjoining property must be submitted to and approved by the ACC in writing prior to installation.
- s. Satellite dish location, paint color and wall mount location.
- t. The limits of all tree removal areas shown must be approved by the ACC. Mass tree removal is not allowed.

The ACC shall have ten (10) business working days, following receipt of a complete submittal of the final plans, to review the same and make its comments, if any. Upon approval of the final plans, the ACC shall issue a "Notice to Proceed." Approvals of the final plans shall be valid for eight (8) months from the date shown on the Notice to Proceed. If construction has not commenced within eight (8) months, the final plans must be resubmitted to the ACC as a new application.

4.4 Occupancy. Upon completion of the exterior of all structures and all grading and landscaping for which plans and specifications have been approved, the Owner or builder shall notify the ACC in writing that the construction is complete ("**Completion Notice**"). Within ten (10) business days after receipt of the Completion Notice, the ACC shall inspect the completed work and take one of the following actions:

- a. Issue the Owner and the Association a completion certificate if the work is in conformity and in compliance with the approved plans and specifications, the Declaration and the Design Guidelines, and return the Compliance Deposit; or

b. Provide the Owner with a list of all items needed to be completed or altered to bring the work into conformity and into compliance with the approved plans and specifications, the Declaration and the Design Guidelines. If the required items are not completed within ninety (90) days of notice of the ACC's decision, the Association may take possession of the Compliance Deposit and ask a court for further remedy if the ACC so desires. The Association shall have the right to injunction relief to enforce the Design Guidelines and the Declaration. Individual charges may be levied by the Association against the Owner for costs incurred bringing the Lot and the residence into compliance with the plans and specifications, the Declaration and the Design Guidelines. If Owner fully complies with the approved final plans, a refund of the Compliance Deposit will be payable to the issuer of the original check.

c. Inspections by the ACC shall not constitute a waiver of any requirement of the Design Guidelines unless such waiver is specifically made in writing.

4.6 Changes. Changes required by the ACC during the review process shall be noted on the plans submitted by the Owner, and after corrections are made, the plans shall be resubmitted to the ACC for review and approval.

ARTICLE 5 **LANDSCAPING**

The type and extent of vegetation is important to the water conservation program and overall natural aesthetics of Nature Pointe. A graphic example of the types of landscape zones and how the zones may be located relative to the residence is shown on Figure 4. One of the most effective methods to conserve water is the maintenance of existing vegetation that does not require supplemental water.

5.1 Landscape Zones. The introduction of other, non-indigenous trees to the landscape creates foreign elements that affect the appearance of the landscape. The selection of plant types are designed to have the new landscape blend with the existing vegetation.

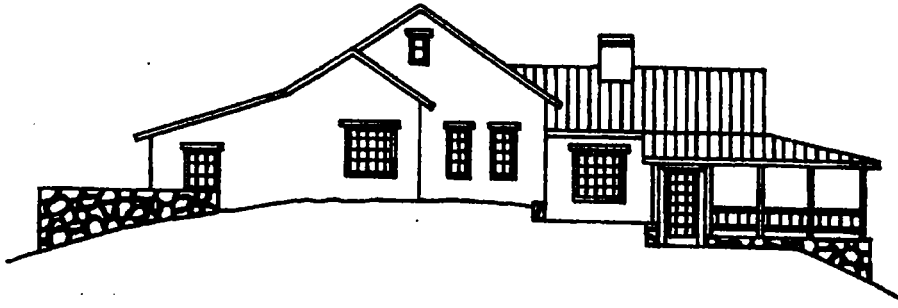
5.2 Plant Zones. Three (3) types of planting zones have been established as part of the landscape standards and are enforced on each Lot. See the Nature Pointe Plant List of pre-approved plants for each zone listed below:

a. *Intensive Zone.* The Intensive Zone is located closest to the residence where captured rainwater can most easily be used to supplement the irrigation requirements. Non-native and more water consumptive plants are permitted in this zone. The disruption of taller trees against a backdrop of native trees is minimized by locating the trees in closer proximity to the residence. A broader range of vegetation types is allowed in this zone.

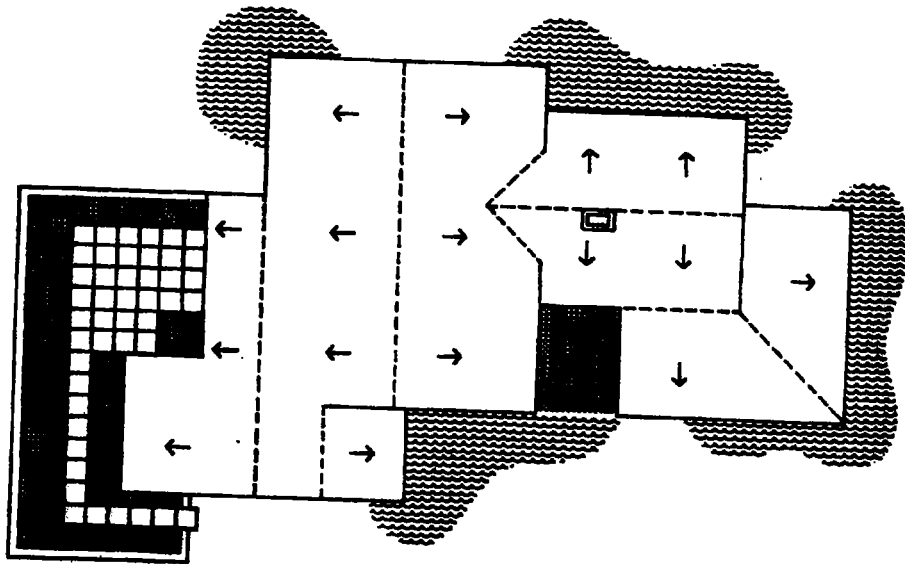
b. *Transition Zone.* The Transition Zone is generally further away from the residence and is intended as a transition between the Intensive Zone and the Natural Zone. Trees have a lower height and blend better with the existing vegetation. The vegetation in this zone requires less supplemental irrigation, except in periods of intermittent rainfall.

c. *Natural Zone.* Plant material in the Natural Zone generally reflects the plant types that are found within Nature Pointe or in similar ecological zones. Once established, plants in this zone do not receive supplemental irrigation. Generally, areas outside the Building Envelope must be maintained as Natural Zone vegetation.

FIGURE 4
Landscape Zones



HOUSE ELEVATION VIEW



HOUSE PLAN VIEW

LANDSCAPE ZONES

- INTENSIVE ZONES
- ▨ TRANSITION ZONES
- NATURAL ZONES: BALANCE OF LOT
- ← ROOF DRAINAGE

5.3 Turf Grass; Tri-Dwarf Fescue Blend. An alternative to more water intensive grasses such as Kentucky Blue is encouraged. **EXAMPLE:** The Tri-Dwarf Fescue Blend has many of the characteristics of Kentucky Blue, but requires one-third less water to irrigate. Lawn areas may not exceed 400 square feet.

5.4 Limitation On Landscaped Areas and Use of Xeriscape Techniques. Irrigated lawns are limited to a maximum of 400 square feet. Other landscaped areas for shrubs and trees shall not exceed a total area of 1,000 square feet. It is recommended that irrigation be achieved by a drip irrigation system controlled by an automatic timer and plants should be bedded with mulching to reduce evaporation.

5.5 Water Harvesting. Each Owner is encouraged to capture rainwater from roofs and impervious surfaces. Rainwater should be directed to cisterns or swales (low spots) to better saturate non-native plantings or to below grade cisterns and/or above grade ACC-approved cisterns. Careful planning will reduce the amount of additional watering of landscape areas in the Intensive Zone and the Transition Zone.

5.6 Cut and Fill Slopes. Cut and fill slopes shall be stabilized in a manner to create a pleasing aesthetic outcome. Rock riprap and grading techniques should be employed to minimize erosion and enhance the final grading of a Lot.

ARTICLE 6 **MISCELLANEOUS REQUIREMENTS**

6.1 Debris and Trash Removal. Builders shall keep the construction site clean at all times and shall enforce clean site restrictions on their personnel and all subcontractors. Trash and debris shall be removed from each construction site as frequently as necessary and not be permitted to accumulate. Lightweight materials, packaging and other items shall be picked up, covered or weighted down on a daily basis to prevent being blown off the construction site. During construction, each construction site and surroundings shall be kept neat and clean. Construction equipment, materials and debris shall be properly placed to prevent from becoming a public eyesore. Unsightly dirt or mud deposited on the roadway or debris originating from construction activity shall be promptly removed and cleaned. If violated, the Association may deduct a reasonable amount from the Compliance Deposit for cleanup. The ACC shall approve the method of protecting portions of the Building Envelope from damage relating to construction.

6.2 Sanitary Facilities. The builder shall be responsible for providing sanitary facilities for the builder's crew and subcontractors. The location of portable toilets within the Building Envelope must be approved by the ACC.

6.3 Excavation Materials. Excess excavation material must be hauled away from Nature Pointe or deposited in an area specifically designated by the ACC as appropriate.

6.4 Blasting. Rock-hammer excavation or rock trenching shall be given primary consideration prior to utilizing blasting. If any blasting is to occur, the ACC must be notified in advance. The applicant must show that they have obtained the advice of expert consultants that blasting may be accomplished safely. The consultants must so advise the ACC in writing. No blasting may be undertaken without the approval of the ACC based upon such advice from a qualified consultant. The ACC's only responsibility is to require evidence of such consultant's expertise and shall not have liability for the blasting. All blasting contractors must have a minimum \$1,000,000.00 liability insurance policy benefitting any damaged party within Nature Pointe.

6.5 Repair of Property Damages. Damages and scarring to any property, common easements, other Lot, including, but not limited to roads, driveways, utilities, vegetation and/or

improvements, resulting from construction operations, is not allowed. If any such damage occurs, it must be repaired and/or restored promptly and any expenses are those of the builder, and, in the event of default by the builder in meeting these obligations, the Owner who has retained the builder shall be responsible for the costs.

6.6 Site Inspection. The ACC or its representative may inspect the construction site at any time to ensure compliance with the plans and specifications, the Declaration, and the Design Guidelines.

6.7 Construction Requirements. All Owners will be responsible for the conduct and behavior of their agents, representatives, builders, contractors, and subcontractors while within Nature Pointe. Construction activities creating noise audible to a nearby Owner(s) shall not be allowed to commence until 7:00AM and must be concluded by 8:00PM. Dogs owned by contractors/ subcontractor(s) shall be leashed at all times and are not allowed to create a noise distraction to any Owner(s) within Nature Pointe.

6.8 Nature Pointe Sign Frames. All sign frames (with the Nature Pointe logo) must be obtained from the Association. A deposit in an appropriate amount will be required for use of the frames in order to assure their return in an acceptable condition.

6.8 Construction Signage. Temporary construction signs shall be mounted in a Nature Pointe sign frame and shall be limited to one sign per Lot. The sign shall be set back a minimum of 20' from the edge of the street pavement and shall be subject to review and approval by the ACC.

6.9 For Sale Signs. For sale signs shall be mounted in a Nature Pointe sign frame and shall be limited to a maximum of one sign per Lot. The location of the signs shall be approved by the ACC.

6.10 Fire Prevention. Careless disposal of cigarettes and other flammable materials is prohibited at Nature Pointe. At least a 10lb ABC-rated fire extinguisher shall be present in a conspicuous place on the construction site at all times.

6.11 Construction Access. The only construction access allowed for the Lot shall be the approved driveway location.

6.12 Swimming Pool. Swimming pools are discouraged. Swimming pools require ACC approval and generally must be located behind a safety and privacy wall. All pools must be equipped with an automatic pool cover to reduce evaporation.

6.13 Modification of Design Guidelines. From time-to-time, the ACC, after approval by the Board of Directors of the Association, may modify the Design Guidelines as it deems necessary.

6.14 Variiances. Any variance to the Design Guidelines must be approved in writing by the ACC.

NATURE POINTE PLANT LIST

The following plants are pre-approved for use in the zones indicated.

OASIS ZONE PLANTS noted by an O are used in limited areas that are heavily used, close to buildings, within courtyards, and/or outdoor extensions of living space.

TRANSITION ZONE PLANTS noted by a T are used in areas that may be watered occasionally even after plants are well established, but are intended as enhancements of primarily native planting.

NATURAL ZONE PLANTS noted by an N are potentially native to the area and able to survive with no supplemental water once they are well rooted. Native trees noted by an * need to be located in runoff catchment areas. All other locally native plants not listed here are pre-approved.

Note: Transplants typically need consistent irrigation (weekly in summer/every two weeks in spring and autumn/monthly in winter if there is no snow cover) for up to three years after planting to become well established. Reclamation seeding typically needs watering the first growing season and sometimes the second growing season after seeding if rainfall is less than normal.

DECIDUOUS TREES

- ARIZONA WALNUT/*Juglans major* O T N*
- ASPEN/*Populus tremuloides* O T N
- BIGTOOTH MAPLE/*Acer grandidentatum* O T N*
- CHOKECHERRY/*Prunus virginiana melanocarpa* O T N*
- CRABAPPLE/*Malus* cultivars O
- ELM HYBRIDS/*Ulmus* x 'Frontier' and 'Accolade' O
- FERNLEAF BUCKTHORN/*Rhamnus frangula 'Asplenifolia'* O
- FRAGRANT ASH/*Fraxinus cuspidata* O T N
- FRUIT TREES: APPLE/*Malus* cultivars O
 - APRICOT/*Prunus armeniaca* O
 - CHERRY/*Prunus* O
 - NECTARINE/*Prunus* O
 - PEACH/*Prunus persica* O
 - PLUM/*Prunus* O
- GOLDEN RAIN TREE/*Koelreuteria paniculata* O T
- HACKBERRIES: NETLEAF HACKBERRY/*Celtis reticulata* O T N
 - WESTERN HACKBERRY/*Celtis occidentalis* O T
- HAWTHORNS: COCKSPUR HAWTHORN/*Crataegus persimilis* O
 - RUSSIAN HAWTHORN/*Crataegus ambigua* O
 - WASHINGTON HAWTHORN/*Crataegus phaenopyrum* O
- HONEY LOCUST/*Gleditsia triacanthos 'Inermis'* O
- JAPANESE SCHOLAR TREE/*Styphnolobium* syn. *Sophora japonica* O
- JUJUBE/*Zizyphus jujuba* O T
- KENTUCKY COFFEE TREE/*Gymnocladus dioica* O
- LANCELEAF COTTONWOOD/*Populus acuminata* O T N*
- NEW MEXICO OLIVE/*Forestiera neomexicana* O T N
- OAKS: BURR OAK/*Quercus macrocarpa* O
 - CHINKAPIN OAK/*Quercus muhlenbergia* O T
 - GAMBEL OAK/*Quercus gambelii* O T N
 - TEXAS RED OAK/*Quercus texana* or *buckleyi* O T
 - SHUMARD OAK/*Quercus shumardii* O T
- REDBUDS: EASTERN REDBUD/*Cercis Canadensis* O T
 - OKLAHOMA REDBUD/*Celtis reticulata* O T
- SMOKETREE/*Cotinus coggygria*

EVERGREEN TREES

BLUE ATLAS CEDAR/*Cedrus atlantica* 'Glauca' O T
JUNIPERS: 'Hillspire' JUNIPER?/*Juniperus virginiana* O T
ONE SEED JUNIPER/*Juniperus monosperma* O T N
ROCKY MOUNTAIN JUNIPER/*Juniperus scopulorum* female cultivars O T N*
OAKS: EMORY OAK/*Quercus emoryii* O T N*
SHRUB LIVE OAK/*Quercus turbinella* O T N
PINES: AUSTRIAN PINE/*Pinus nigra* O T N
BRISTLECONE/*Pinus aristata* O T N
LIMBER PINE/*Pinus flexilis* O T N*
PINYON/*Pinus edulis* O T N
PONDEROSA PINE/*Pinus ponderosa* O T N*
SCOT'S PINE/*Pinus sylvestris* O T
SOUTHWESTERN WHITE PINE/*Pinus strobiformis* O T N*

VINES

ANEMONE CLEMATIS/*Clematis Montana* var, *rubens* O
BOSTON IVY/*Parthenocissus tricuspidata* O
GRAPES/*Vitis* cultivars O T
LADY BANK'S ROSE/*Rosa banksias* *lutea* or *alba* O
SILVERLACE VINE/*Fallopia aubertii* O T
TRUMPET VINE/*Campsis radicans* O T
WOODBINE/*Parthenocissus inserta* O T N*
WESTERN VIRGIN'S BOWER/*Clematis ligusticifolia* O T N*
WISTERIA/*Wisteria sinensis* O

DECIDUOUS SHRUBS

APACHE PLUME/*Fallugia paradoxa* O T N
BLUE MIST/*Caryopteris clandonensis* O T
BUSH PENSTEMON/*Penstemon ambiguus* O T N
BUTTERFLY BUSHES: DWARF BUTTERFLYBUSH/*Buddleia davidii* *nanhoensis* O T
FOUNTAIN BUTTERFLYBUSH/*Buddleia alternifolia* O T
CHAMISA/*Chrysothamnus nauseosus* T N
CLIFF FENDLERBUSH/*Fendlera rupicola* O T N
CURRANTS: CRANDALL CURRANT/*Ribes odoratum* O T
GOLDEN CURRANT/*Ribes aureum* O T N
WAX CURRANT/*Ribes cereum* O T N
CURRY PLANT/*Helichrysum angustifolium* O T
FALSE INDIGO/*Amorpha fruticosa* O T N
FENDLER MAHONIA/*Mahonia fendleri* O T
FERNBUSH/*Chamaebatia millefolium* O T N
FRINGE SAGE/*Artemisia frigida* O T N
LEADPLANT/*Amorpha canescens* O T N
LILACS: CHINESE LILAC/*Syringa rothomagensis* and *vulgaris* O
DWARF KOREAN LILAC/*Syringa meyeri* O T
LITTLELEAF MOCKORANGE/*Philadelphus microphylla* O T N*
MONTANE MOUNTAIN MAHOGANY/*Cercocarpus montanus* O T N
REDTWIG DOGWOOD/*Cornus sericea* O T
ROSES: AUSTRIAN COPPER/*Rosa foetida* *bicolor* O T
'Red Cascade' ROSE/*Rosa wichuriana* x 'Floradora' O

WOODS ROSE/Rosa woodsii O T N*

SHRUBBY CINQUEFOIL/Potentilla fruticosa O T

SILVER BUFFALOBERRY/Shepherdia argentea T N*

SNOWBERRY/Symphoricarpos alba O T

SQUAWAPPLE/Peraphyllum ramosissimum O T N

SUMACS: DWARF ROCKY MOUNTAIN SUMAC/Rhus glabra 'Cistmontana' O T N

'Gro Low' SUMAC/Rhus aromatica cultivar O T

LITTLELEAF SUMAC/Rhus microphylla O T N

PROSTRATE THREELEAF SUMAC/Rhus trilobata 'Prostrata' O T N

THREELEAF SUMAC/Rhus trilobata O T N

UTAH SERVICEBERRY/Amelanchier utahensis O T N

WESTERN SAND CHERRY/Prunus besseyi O T N

WINTER JASMINE/Jasminum nudiflorum O

WOLFBERRY/Lycium pallidum or andersonii T N

DECIDUOUS SHRUBS

ARTEMISIA SAGES: BIGLEAF SAGE/Artemisia tridentata O T N

THREADLEAF SAGE/Artemisia filifolia O T N

BURKWOOD VIBURNUM/Viburnum burkwoodii O

CLIFFROSE/Cowania syn. Purshia mexicana O T N

COTONEASTERS/Cotoneaster dammeri cultivars O

FIRETHORN/Pyracantha lelandii O

LAVENDER COTTON/Santolina chamaecyparissus and others O T

LAVENDER/Lavandula angustifolia and x intermedia cultivars O T

MAHONIAS: ALGERITA/Berberis or Mahonia haematocarpa O T N

BLUE ALGERITA/Berberis fremontii O T N

COMPACT MAHONIA/Mahonia aquifolia 'Compacta' O

CREeping MAHONIA/Mahonia repens O T

MOUNTAIN MAHOGANY: CURLLEAF MOUNTAIN MAHOGANY/Cercocarpus ledifolius O T N

DWARF CURLLEAF MOUNTAIN MAHOGANY/Cercocarpus intricatus O T N

ROSEMARY/Rosmarinus officinalis 'Arp' O

SALTBUSHES: FOURWING SALTBUSH/Atriplex canescens T N

GARDNER SALTBUSH/Atriplex gardneri O T N

SHADSCALE/Atriplex confertifolia O T N

SALVIA SAGES: 'Berggarten' SAGE/Salvia officinalis O

GARDEN SAGE/Salvia officinalis O

GIANT FLOWERED DESERT SAGE/Salvia pachyphylla O T N

LAVENDER SAGE/Salvia lavandulifolia O

PURPLE SAGE/Salvia officinalis 'Purpurascens' O

SCOTCH BROOM/Cytisus scoparius 'Moonlight' and others O

SHRUB-LIKE CACTUS AND SUCCULENTS

AGAVE/Agave parryi or neomexicana O T N

AGAVE/Agave utahensis O T N

BEARGRASS/Nolina texana O T N

BIG BEARGRASS/Nolina microcarpa O T N

CANDLE CHOLLA/Opuntia kleiniae O T N

CANE CHOLLA/Opuntia imbricata T N

ENGELMANN PRICKLY PEAR/Opuntia engelmannii O T N

PENCIL CHOLLA/Opuntia leptocaulis O T N

PURPLE PRICKLY PEAR/Opuntia macrocentra O T N

SPANISH DAGGER/Yucca baccata O T N

WILDFLOWERS AND GARDEN PERENNIALS

ANGELITA DAISY aka PERKY SUE/Tetraneuris syn. Hymenoxys acaulis O T N
ARTEMISIAS: BEACH WORMWOOD/Artemisia stelleriana O
 'Powis Castle' ARTEMISIA/Artemisia hybrid O
 PRAIRIE SAGE/Artemisia ludoviciana O T N
ASPARAGUS O T N*
'Basket of Gold' ALYSSUM/Aurinaria saxatile O
BATH'S PINKS/Dianthus gratianopolitanus O
BEARDED IRIS/Iris cultivars O T
BLANKETFLOWER/Gaillardia species and hybrids O T N
BLUE BUSH MINT/Ziziphora clinopodioides O T
BLUE FLAX/Linum lewisii O T N
BUBBLEGUM MINT/Agastache cana O T N*
BUCKWHEATS: JAMES BUCKWHEAT/Eriogonum jamesii O T N
 SULFUR BUCKWHEAT/Eriogonum umbellatum O T N
 WRIGHT'S BUCKWHEAT/Eriogonum wrightii O T N
BUSH MORNINGGLORY/Ipomoea leptophylla O T N
CATMINTS: CATMINT/Nepeta mussini O T
 'Six Hills Giant' and 'Walker's Low' CATMINT/Nepeta x faassenii cultivars O T
CHIVES/Allium schoenoprasum O
CHOCOLATE FLOWER/Berlandiera lyrata O T N
'Colorado Gold' GAZANIA/Gazania linearis cultivar O
CONEFLOWER or MEXICAN HAT/Ratibida columnifera O T N
CORSIKAN VIOLA/Viola Corsica O
CREEPING BABY'S BREATH/Gypsophila repens O
CREEPING GERANIUM/Geranium macrorrhizum O
CROCUS/Crocus species and hybrids O
CROWNSBEARD or COWPEN DAISY/Verbesina encelioides O T N*
DESERT ZINNIA/Zinnia grandiflora O T N
 WHITE DESERT ZINNIA/Zinnia acerosa O T N
DWARF GOLDENROD/Solidago canadensis 'Nana' O T N*
ENGELMANN DAISY/Engelmannia bipinnatifida O T N
EVENING PRIMROSES: MEXICAN EVENING PRIMROSE/Oenothera speciosa O T N*
 ORGAN MOUNTAIN EVENING PRIMROSE/Oenothera organensis O T N*
 YELLOW EVENING PRIMROSE/Oenothera macrocarpa O T
 WHITE TUFTED EVENING PRIMROSE/Oenothera caespitosa O T N
FERN VERBENA/Glanularia bipinnatifida and wrightii O T N
FLAME FLOWER/Talinum calycinum O T N
FRENCH TARRAGON/Artemisia dranunculus O
GERMANDERS: CUTLEAF GERMANDER/Teucrium laciniatum O T N*
 GERMANDER/Teucrium chamaedrys O T
 GREEK GERMANDER/Teucrium aroanium O
GIANT FOUR O'CLOCK/Mirabilis multiflora O T N
GAURA/G. lindheimeri O T N
GAYFEATHER/Liatris punctata O T N
GLOBEMALLOWS: DESERT GLOBEMALLOW/Sphaeralcea ambigua O T N
 GOOSEBERRY-LEAF GLOBEMALLOW/Sphaeralcea grossularifolia O T N
 SCARLET GLOBEMALLOW/Sphaeralcea coccinea O T N
GOLDEN ASTER/Chrysopsis villosa T N
GOLDEN COLUMBINE/Aquilegia chrysantha O T
GRAPE HYACINTH/Muscari armeniacum and others O

GROUNDSEL/Senecio longilobus and others O T N
 HARDY AFRICAN DAISY/Osteospermum baberiae 'Compactum' O
 HOLLYHOCKS/Alcea rosea O T
 HORNED POPPY/Glaucium flavum O T
 HUMMINGBIRD TRUMPET/Epilobium syn. Zauschneria canum O T
 ICEPLANTS: PURPLE ICEPLANT/Delosperma cooperii O
 YELLOW ICEPLANT/Delosperma nubigenum O
 INDIAN PAINTBRUSH/Castilleja integra and others O T N
 LAMB'S EAR/Stachys lanata O T
 LICORICE MINT/Agastache rupestris O T N
 MANFREDA aka TEXAS TUBEROSE/Manfreda maculosa O T N*
 MAXIMILIAN SUNFLOWER/Helianthus maximiliani O T N*
 ORNAMENTAL ONIONS: GARLIC CHIVES/Allium tuberosum O T
 'SUMMER BEAUTY' ALLIUM/Allium tanguticum O T
 SWIRLING ONION/Allium senescens 'Glaucum' O
 OREGANOS: 'Hopley's' ORNAMENTAL OREGANO/Origanum laevigatum cultivar O T
 ITALIAN OREGANO/Origanum onites and others O T
 PAPERFLOWER/Psilostrophe tagetes O T N
 PARTRIDGE FEATHER/Tanacetum densum amani O
 PENSTEMON: CARDINAL PENSTEMON/Penstemon cardinalis O T N
 DESERT PENSTEMON/P. pseudospectabilis O T N
 JAMES' PENSTEMON/P. jamesii O T N
 NARROWLEAF PENSTEMON/P. angustifolius O T N
 PALMER PENSTEMON/P. palmeri O T N
 PINELEAF PENSTEMON/Penstemon pinifolius O T N
 ROCKY MOUNTAIN PENSTEMON/Penstemon strictus O T N
 SCARLET BUGLER/Penstemon barbatus O T N
 SIDEBELLS PENSTEMON/P. secundiflorus O T N
 YELLOW PINELEAF PENSTEMON/P. pinifolius 'Mersea Yellow' O T N
 And others
 PERSIAN CORNFLOWER/Centaurea dealbata O T
 PRAIRIE SKULLCAP/Scutellaria wrightii O T N
 PRICKLY POPPY/Argemone pheiacantha O T N
 PURPLE ASTER/Machaeranthera bigelovii T N
 PURPLE CONEFLOWER/Echinacea purpurea O T
 PURPLE PRAIRIECLOVER/Dalea purpurea O T N
 PUSSYTOES/Antennaria species O T N
 RUE/Ruta graveolens O T
 SALVIAS: DWARF SILVER SAGE/Salvia daghestanica O T
 GRASS SAGE/Salvia reptans O T
 PITCHER SAGE/Salvia azurea grandiflora O T N
 SEDUMS: 'Autumn Joy' SEDUM/Sedum telephium O
 BIG BLUE SEDUM/S. hybrid O
 'Matrona' SEDUM/Sedum hybrid O
 'Rosy Glow' SEDUM/Sedum x 'Rosy glow' O
 SERBIAN BELLFLOWER/Campanula poscharskyana O
 SHOWY GOLDENEYE/Viguiera multiflora O T N
 SOAPWORT/Saponaria ocymoides O
 SUNDROPS/Calylophus hartwegii O T N
 SUNROSES/Helianthemum nummularium O
 THYMES: COMPACT THYME/Thymus minus O
 ENGLISH THYME/Thymus vulgaris O T
 WOOLY THYME/Thymus pseudolanuginosus O

TORCH LILY/*Kniphofia uvaria* O T
 VALERIAN/*Centranthus ruber* O T
 VARIEGATED BISHOP'S WEED/*Aegopodium podagraria* 'Variegatum' O
 VERONICAS: 'Blue Reflections' VERONICA/*Veronica pectinata* x *liwanensis* O
 SILVER SPEEDWELL/*Veronica incana* O
 WOOLY VERONICA/*Veronica pectinata* O
 WHIPLASH DAISY/*Erigeron flagellaris* O T N*
 WILD MARIGOLD/*Thymophylla pentachaeta* syn. *Dyssodia acerosa* O T N
 WILD PETUNIA/*Ruellia humilis* O T N*
 WINECUPS/*Callirhoe involucrata* O T N
 WINTER SAVORY/*Satureja montana* O
 YARROWS: 'Cerise Queen', 'Red Beauty' and other YARROW/*Achillea millefolium* cultivars O T
 GREEK YARROW/*Achillea ageratifolia* O T
 'Moonshine' YARROW/*Achillea taygetea* O T
 WILD YARROW/*Achillea lanulosa* O T N*
 YERBA MANSA/*Anemopsis californica* O T N*

GRASSES

ALKALI SACATON/*Sporobolus airoides* O T N
 BIG BLUESTEM/*Andropogon gerardii* O T N*
 BLUE AVENA/*Helictotrichon sempervirens* O T
 BLUE FESCUE/*Festuca ovina* 'Glaucá' O T N
 'Siskiyou Blue' IDAHO FESCUE/*Festuca idahoensis* cultivar O T N
 BLUE GRAMA/*Bouteloua gracilis* O T N
 BLUE WILD RYEGRASS/*Elymus cinereus* O T N*
 BUSH MUHLY/*Muhlenbergia porteri* O T N
 CANE BLUESTEM/*Bothriochloa barbinoidea* O T N
 FEATHER REED GRASS/*Calamagrostis arundinacea* 'Karl Foerster' O
 GIANT SACATON/*Sporobolus wrightii* O T N
 HARDY FOUNTAINGRASS/*Pennisetum alopecuroides* O T
 INDIANGRASS/*Sorghastrum nutans* O T N*
 INDIAN RICEGRASS/*Achnatherum* syn. *Oryzopsis hymenoides* O T N
 'Jose Select' TALL WHEATGRASS/*Elytrigia elongata* cultivar O T N*
 JUNEGRASS/*Koeleria nitida* or *macrantha* O T N
 LITTLE BLUESTEM/*Schizachyrium scoparium* O T N
 MOUNTAIN MUHLY/*Muhlenbergia montana* O T N
 PINE DROPSEED/*Blepharoneuron tricolepis* O T N
 'Prairie Sky' SWITCHGRASS/*Panicum virgatum* cultivar O T N*
 PURPLE THREEAWN/*Aristida purpurea* O T N
 'Regal Mist' muhly/*Muhlenbergia capillaries* O T
 SAND BLUESTEM/*Andropogon hallii* O T N
 SAND LOVEGRASS/*Eragrostis tricores* O T N
 SIDEOATS GRAMA/*Bouteloua curipendula* O T N
 SPIKE MUHLY/*Muhlenbergia wrightii* O T N
 TALL TURF-TYPE FESCUE/*Festuca arundinacea* O
 THREADGRASS/*Nassella* syn. *Stipa tenuissima* O T N
 WESTERN WHEAT/*Andropogon smithii* O T N